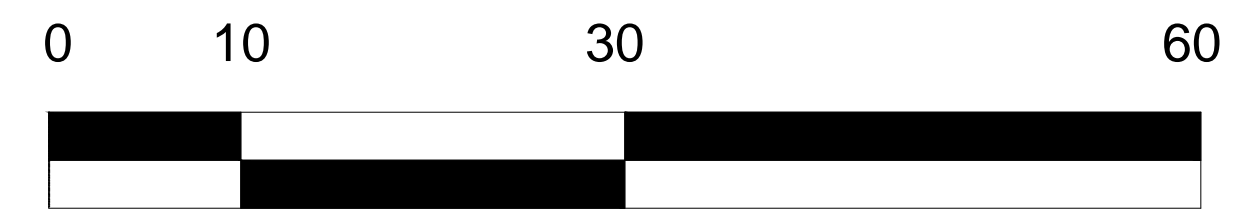


LEGENDS

- x — x — CHAIN LINK FENCE
- LP ☆ LIGHT POLE
- UP ∅ UTILITY POLE
- SDMH ⊕ STORM DRAIN MANHOLE
- GUY ● GUY
- SMH ⊙ SEWER MANHOLE
- WMTR ⊗ WATER METER
- TRAV △ TRAVERSE CONTROL POINT
- FH ⊕ HYDRANT
- WMH ⊕ WATER MANHOLE
- WV ⊕ WATER VALVE
- ⊗ TREE/SIZE
- ⊕ SIGN
- — — — WATER LINE
- — — — SEWER LINE
- — — — GAS LINE
- — — — ELECTRIC LINE

- / — / — EX. CONTOUR
- 142 — PRO. CONTOUR
- × 139.05 EX. SPOT ELV.
- 142.50 PRO. SPOT ELV.
- ×



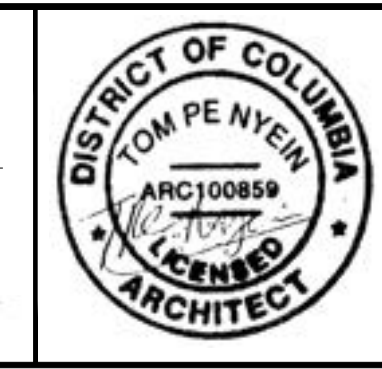
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 3301 17th Street NE
 Washington DC 20018
 gojoincdc@gmail.com

Architect
 Tom Nyein, AIA, NCARB, LEED AP
 12819 Pilots Landing Way
 Darnestown, MD 20878
 (703)981-2853
 tnyein@msn.com

Tom Nyein
 TOM P. NYEIN
 5/20/21
 DATE
 I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared or directly supervised the development of the architectural designs included in this application.



Scale:	AS NOTED	Designed:	TPN	Drawn:	TPN	Checked:	TPN	Issue Date:	5-20-2022	Title:	SITE/GRADING PLAN
No.	Revisions		Date	By							

1016 RHODE ISLAND AVE NE
 WASHINGTON DC 20018

Proj. No. 22-06
 Dwg. No. C-0002

GENERAL NOTES

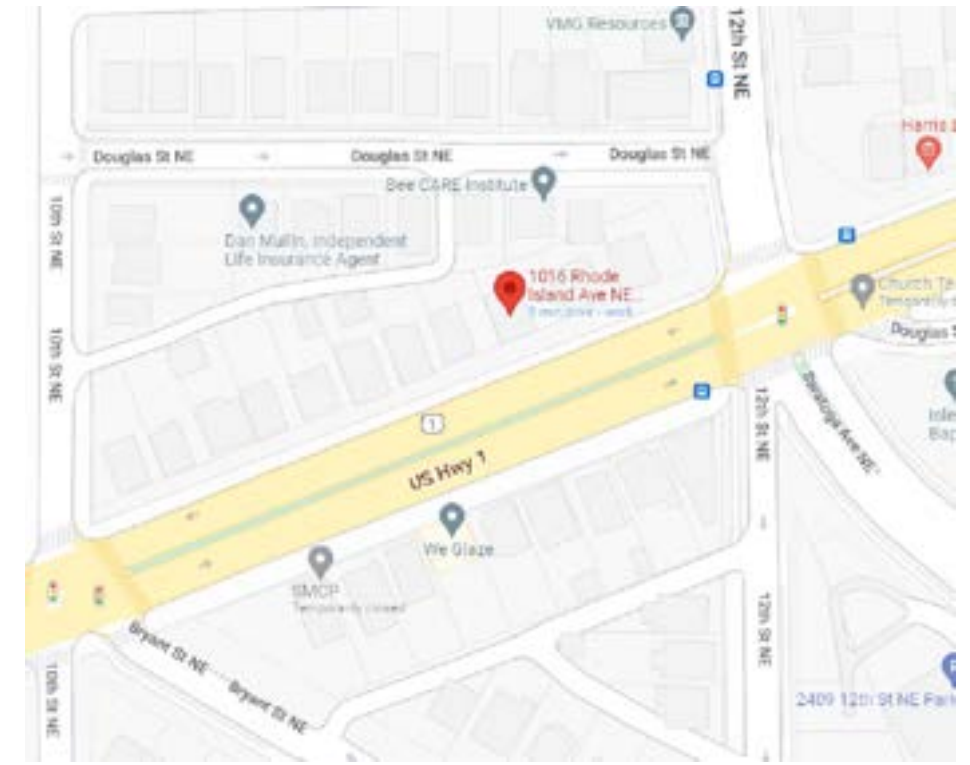
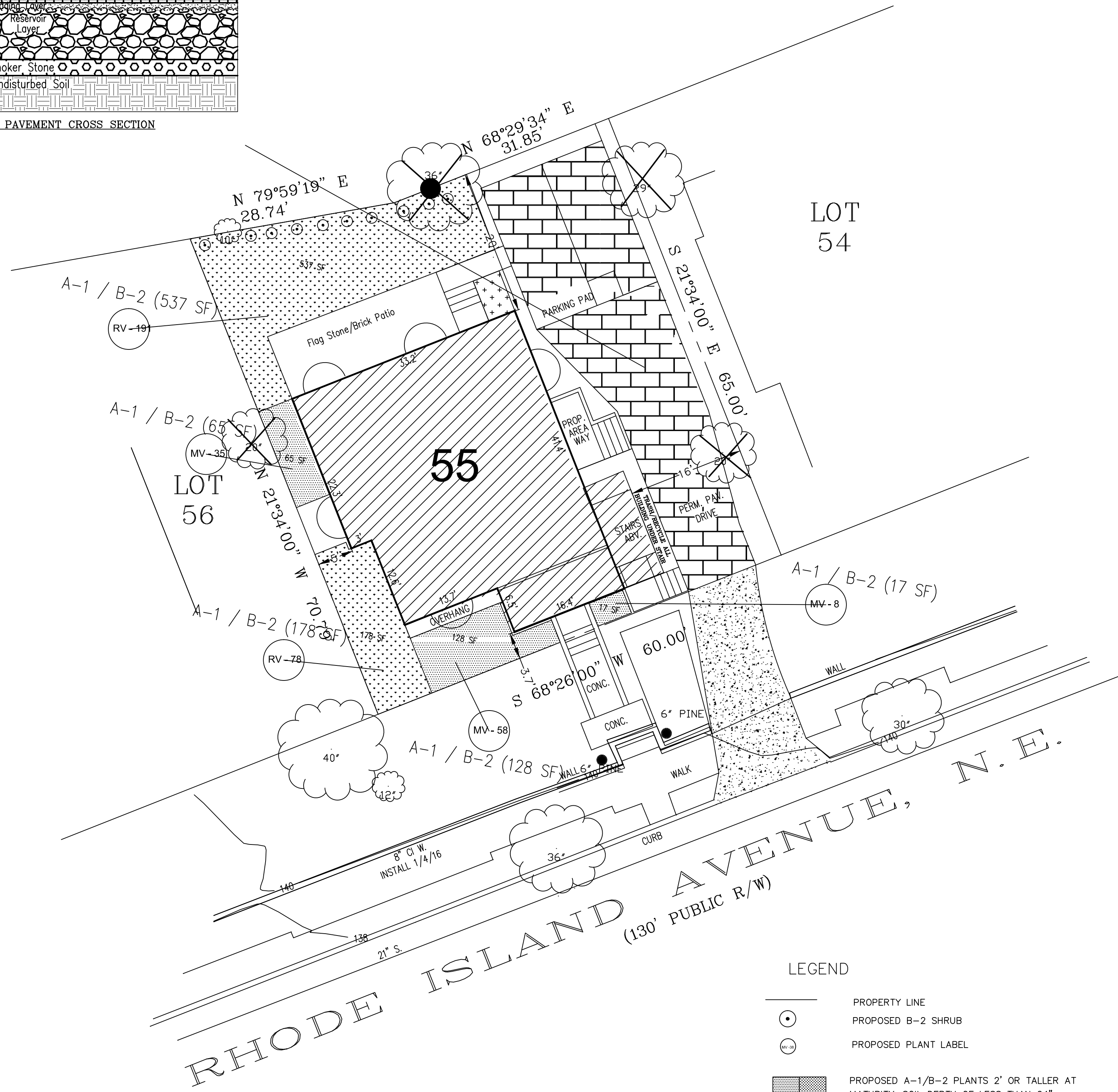
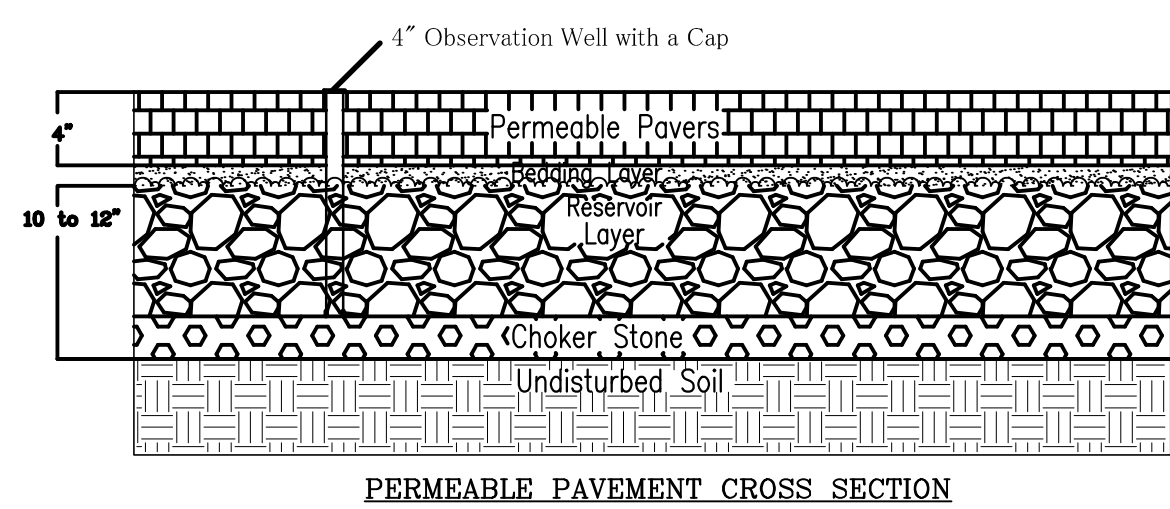
- THE SUBJECT PROPERTY IS LOCATED AS TAX ASSESSMENT NO. 3871, 0055 AND THE SITE ADDRESS IS - 1016 RHODE ISLAND AVE, N.E., DC.
- THE HORIZONTAL DATUM IS BASED ON PLAN FROM THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA.
- TWO FOOT CONTOUR DATA BASED ON DC DATUM.
- BOUNDARY INFORMATION BASED ON THE OFFICE OF THE SURVEYOR.
- ZONING RA-1
 COVERAGE ALLOWED 1593 SF (40%)
 COVERAGE EXISTING 1665 SF (42%)
 COVERAGE PROPOSED 1304 SF (33%)
 FAR ALLOWED 0.9 (3583 SF)
 FLOOR AREA PROPOSED 0.89 (3550 SF)
 EXISTING USE: RESIDENTIAL SINGLE FAMILY
 PROPOSED USE: RESIDENTIAL APARTMENTS
 GAR SCORE: 0.4
- TOTAL LOT AREA - 3982 SQUARE FEET

PROJECT SCOPE

THE PROJECT PROPOSE TO CONSTRUCT A 3-STORY WITH CELLAR 7-UNITS FLAT AND ASSOCIATED APPURTENANCES ON THE SUBJECT LOT COMPRISING 3982 SQUARE FEET. THE SITE IS CURRENTLY DEVELOPED WITH A SINGLE FAMILY DWELLING.

GAR NARRATIVE

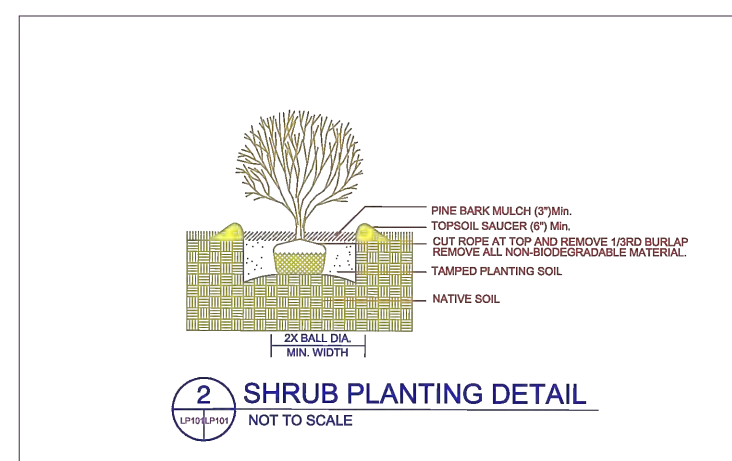
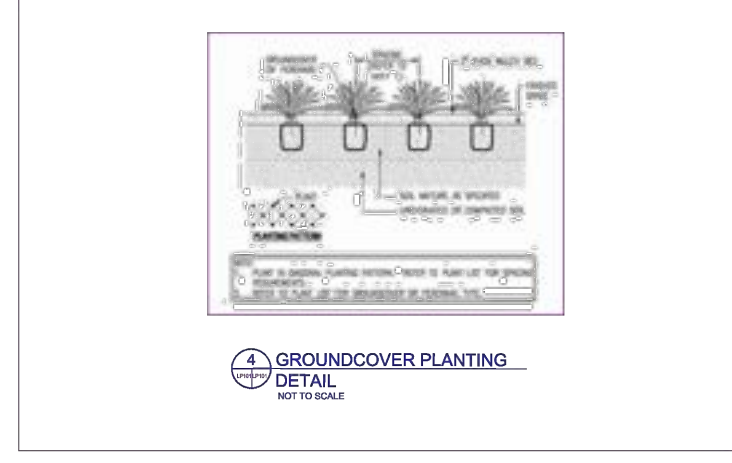
LOT AREA - 3982 SF
 GAR SCORE - 0.4
 LANDSCAPE AREA - 925 SF



LOCATION MAP

Green Area Ratio Score Sheet		Score	Min. Score
Address: 1016 Rhode Island Ave, NE	Score: 3971	Min. Score: 35	Max. Score: 4000
Lot Area: 3982	Gar Score: 0.4	Min. Score: 0.4	Max. Score: 0.400

Landscaping Elements	Score	Min. Score	Max. Score
A Landscaping areas (select one of the following for each area)			
1 Landscaping areas with a soil depth < 24"	0.00	0.00	277.5
2 Landscaping areas with a soil depth ≥ 24"	0.00	0.00	-
3 Bioretention facilities	0.00	0.00	-
B Plantings (credit for plants in landscaped areas from Section A)			
1 Groundcovers, or other plants < 2' height	0.00	0.00	-
2 Plants 2' height at maturity	370	0.00	999.0
3 New trees with less than 40-foot canopy spread	0.00	0.00	-
4 New trees with 40-foot or greater canopy spread	0.00	0.00	-
5 Preservation of existing trees 6" to 12" DBH	0.00	0.00	-
6 Preservation of existing trees 12" to 18" DBH	0.00	0.00	-
7 Preservation of existing trees 18" to 24" DBH	0.00	0.00	-
8 Preservation of existing trees 24" DBH or greater	0.00	0.00	-
9 Vegetated walk, plantings on a vertical surface	0.00	0.00	-
C Vegetated or "green" roofs			
1 Over at least 2" and less than 8" of growth medium	0.00	0.00	-
2 Over at least 8" of growth medium	0.00	0.00	-
D Permeable Paving***			
1 Permeable paving over 0" to 24" of soil or gravel	0.00	0.00	-
2 Permeable paving over at least 24" of soil or gravel	0.00	0.00	-
E Other			
1 Enhanced tree growth systems***	0.00	0.00	-
2 Renewable energy generation	0.00	0.00	-
3 Approved water features	0.00	0.00	-
F Bonus			
1 Native plant species	330.0	0.00	330.0
2 Landscaping in food cultivation	0.00	0.00	-
3 Harvested stormwater irrigation	0.00	0.00	-



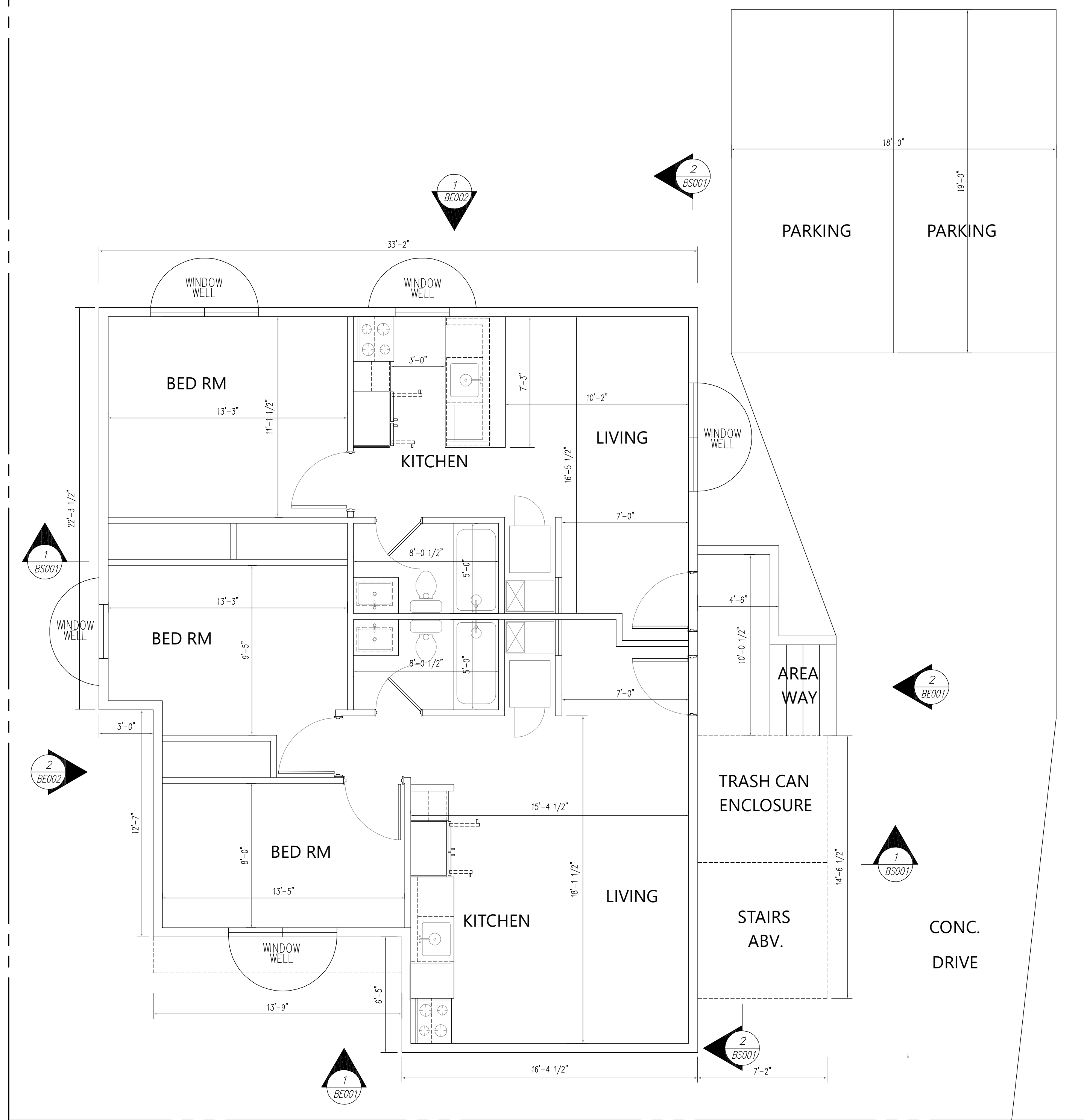
LEGEND

- PROPOSED B-2 SHRUB
- PROPOSED PLANT LABEL
- PROPOSED A-1/B-2 PLANTS 2' OR TALLER AT MATURITY, SOIL DEPTH OF LESS THAN 24"
- ▨ PERMEABLE PAVEMENT
- TREE TO BE PRESERVED
- ⊗ TREE TO BE REMOVED
- ⊗ DEAD TREE TO BE REMOVED

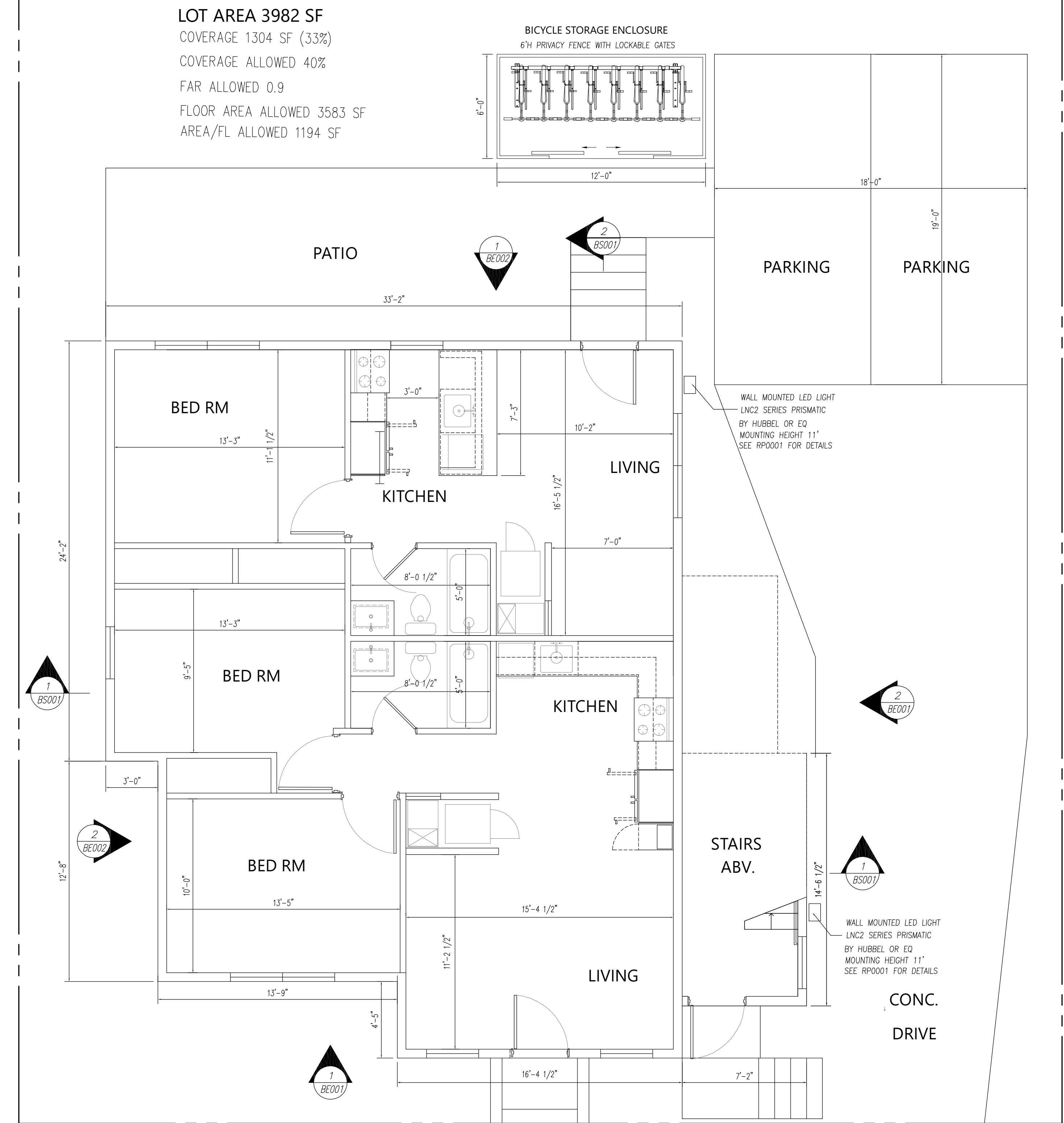
A-1/B-2 SITE LANDSCAPE PLANT SCHEDULE							
KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QUANTITY	COMMENTS
B-2 SHRUBS							
MV	MERTENSIA VIRGINICA	VIRGINIA BLUEBELLS	QUART	CONT.	12" O.C.	101	NATIVE
RV	Rudbeckia Fulgida	Orange Coneflower	GAL	CONT.	12" O.C.	269	NATIVE

The property owner is required to maintain the lot's minimum GAR score through appropriate stewardship and maintenance of landscape elements after the property is granted its Certificate of Occupancy.

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	1016 RHODE ISLAND AVE NE WASHINGTON DC 20018					



CELLAR FLOOR PLAN



FIRST FLOOR PLAN

SCALE 1/4"=1'-0"

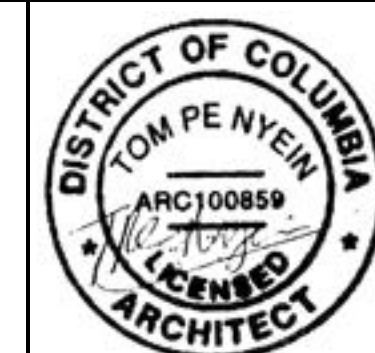
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DATE 6-20-2022

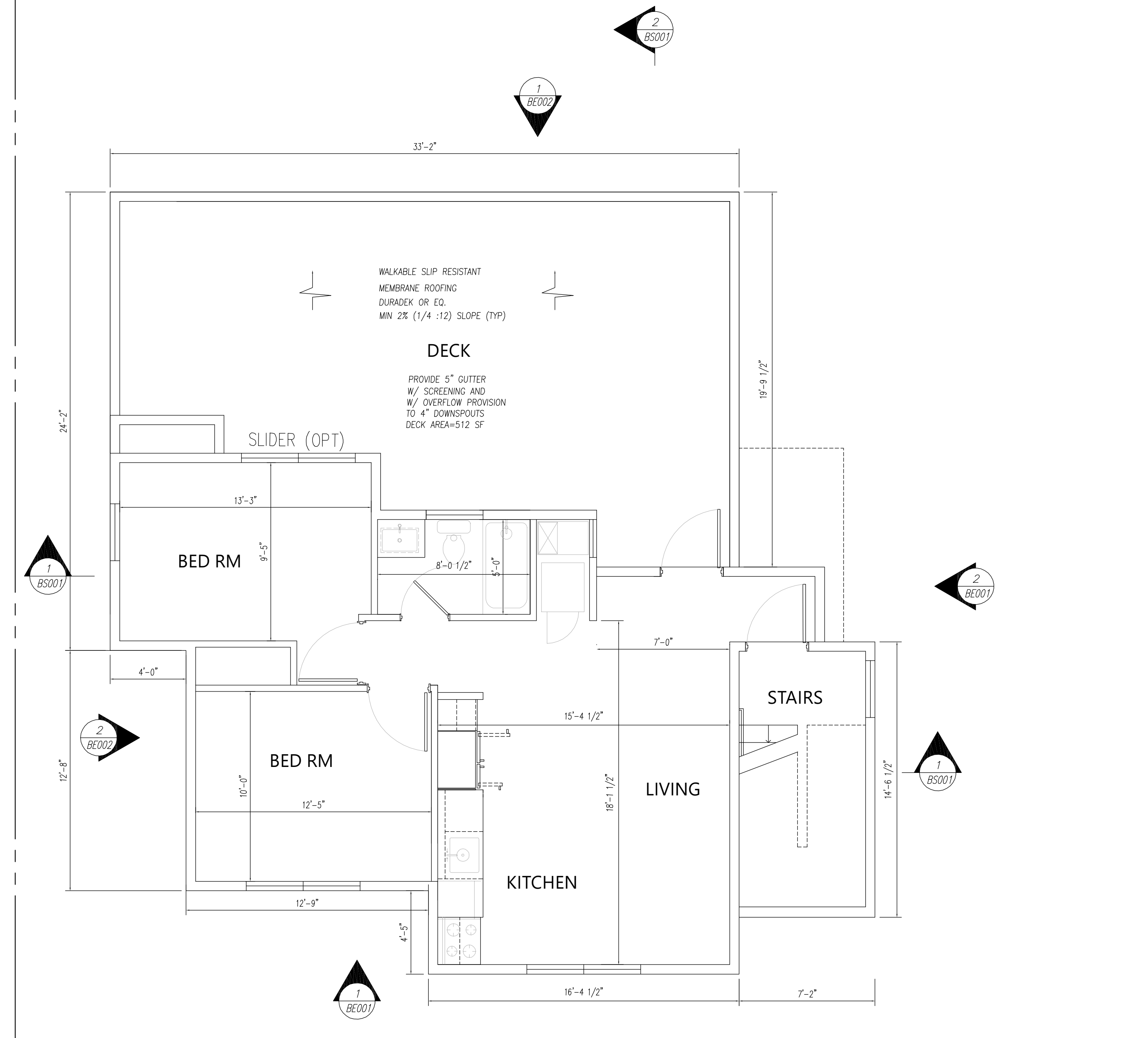
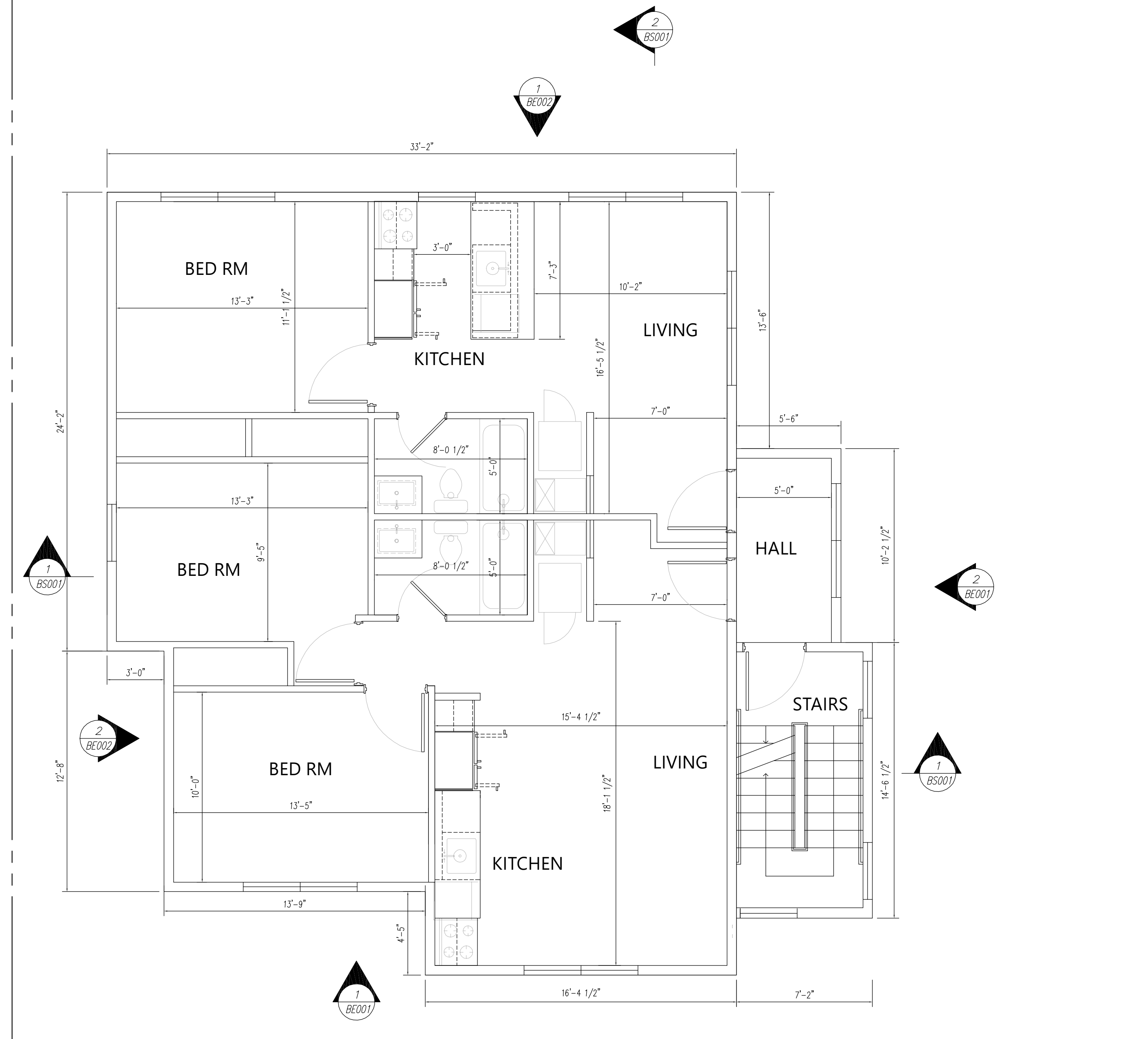
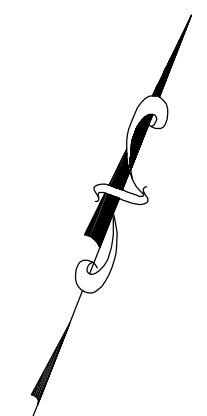
I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED OR DIRECTLY SUPERVISED THE DEVELOPMENT OF THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION.



Scale:	AS NOTED	Designed:	TPN	Drawn:	TPN	Checked:	TPN	Issue Date:	6-20-2022	
Revisions										
No.									Date	By

Title: **CELLAR AND FIRST FLOOR PLANS**
1016 RHODE ISLAND AVE NE
SQUARE 3871 LOT 0055
WASHINGTON DC 20018

Proj. No. 22-08
Dwg. No. **FP-0001**



SCALE 1/4"=1'-0"

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